

A Preliminary Short Plat within
a portion of the SE 1/4 of Sec.
36, T3N., R1E., W.M.
Clark County, Washington



STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
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Mail@SterlingDesign.biz

STERLING DESIGN, INC.

COVER SHEET

See:
44th COURT COTTAGES



AS SHOWN

ect Number: 795

gn/ JGS

ing Date: FEB 202

Page 1 of 6

Sheet 1 of 6 Sheet(s)

- APPLICANT/CONTACT: JOEL STIRLING
2208 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
PH. (360) 759-1794
- PROPERTY OWNERS:
COTTAGE 53, LLC
2208 E EVERGREEN BLVD.
VANCOUVER, WA 98661
- AREA: .72 ACRES/31,307 sq
TAX LOT(S): 15, 77, 109, 208
SERIAL NUMBER(S): 986049985
- SITE ADDRESS: NONE SITUATED NE 99TH ST
- ZONING: R1-6
- COMPREHENSIVE PLAN: UL

COVER SHEET	1
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ARCHITECTURAL PLAN	1
ARCHITECTURAL PLAN	2

- **PAC2018-00056**
- **PAC-2019-00161**
- **TYPE II SHORT PLAT APPLICATION FOR COTTAGE HOUSING**

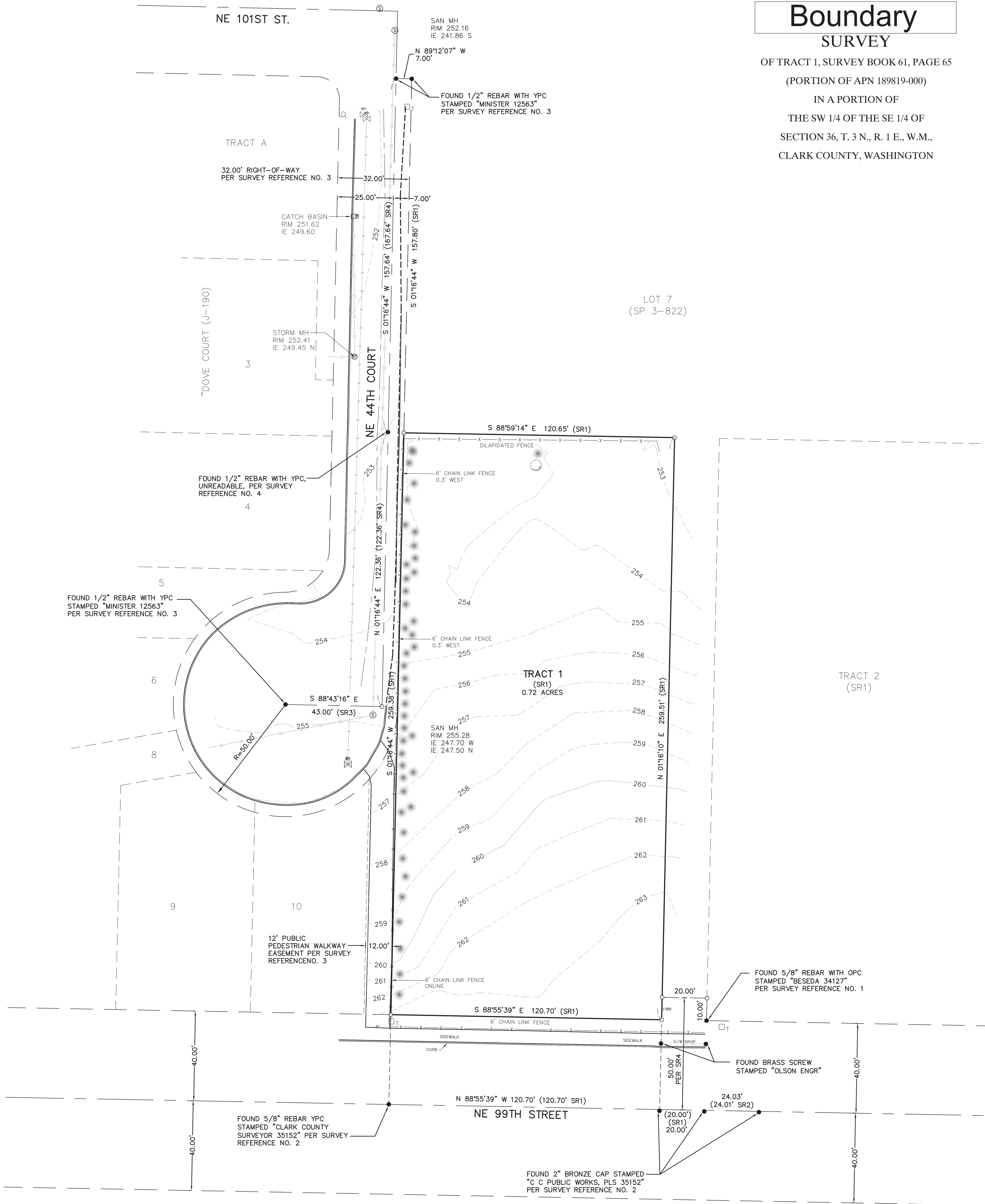
SITE INFORMATION

ALIGNMENT & FIELD DATA:		KPF [®] SURVEYING (503) 709-0492		Scale: AS SHOWN
SOIL TYPE(s):	HYDROLOGIC GROUP:	AASHTO CLASSIFICATION:	Project Number: 795	
HoB	B	A-4	Design/ Drawn JGS	
SOILS TESTING BY:		DATE:		
TRUE NORTH GEOTECHNICAL (360) 558-0005				
SITE LOCATION: CLARK COUNTY, WA		APPROX. SURFACE ELEV.: 250'-258'		
SITE AREA: 0.72 ACRES/31,307 sf		Drawing Date: FEB. 2020		
		FILENAME: SW: 795 Preliminary		
		Sheet 1 of 6 Sheet(s)		

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

Boundary SURVEY

OF TRACT 1, SURVEY BOOK 61, PAGE 65
(PORTION OF APN 189819-000)
IN A PORTION OF
THE SW 1/4 OF THE SE 1/4 OF
SECTION 36, T. 3 N., R. 1 E., W.M.,
CLARK COUNTY, WASHINGTON



DEED REFERENCE:

GRANTOR: DONALD AND ELIZABETH SKAGGS
GRANTEE: CLARENCE AND HELEN LALONDE
AUDITORS FILE NO.: 8109280138
DATED: 9-28-81

VERTICAL DATUM:

DATUM NAVD 88, DERIVED FROM GPS OPERATING ON
THE WASHINGTON STATE REFERENCE NETWORK

SURVEY REFERENCES:

- 1) HAGEDORN SURVEY, BOOK 61, PAGE 65
- 2) CLARK COUNTY SURVEY, BOOK 67, PAGE 141
- 3) "DOVE COURT", BOOK "J", PAGE 19
- 4) "LALONDE'S PARKSIDE II", BOOK 3, PAGE 822

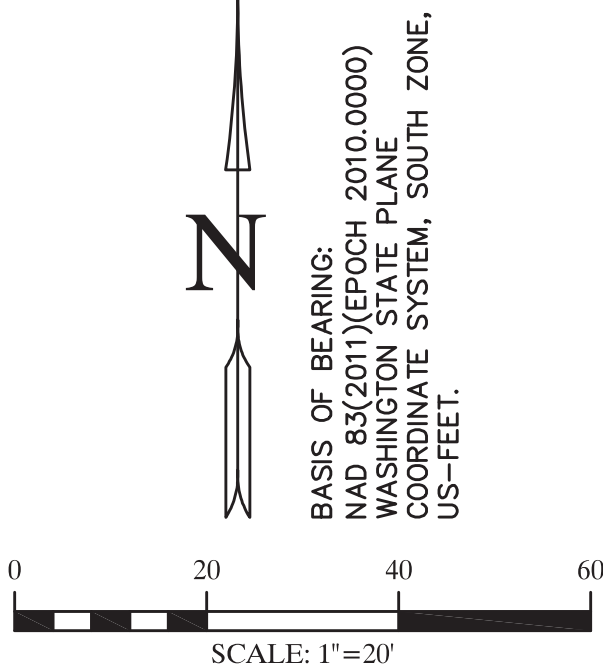
NOTE: A UTILITY LOCATE WAS NOT CALLED FOR ON THIS TOPOGRAPHIC SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC MAP ARE AS MARKED AT THE TIME OF THIS SURVEY. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. SOME UNDERGROUND LOCATIONS HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. KPF SURVEYING, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.

LEGEND:

- WV INDICATES WATER VALVE
- FH INDICATES FIRE HYDRANT
- WM INDICATES WATER METER
- TP INDICATES TELEPHONE PEDESTAL
- SM INDICATES STORM SEWER MANHOLE
- CB INDICATES CATCH BASIN
- SS INDICATES SANITARY SEWER MANHOLE
- ET INDICATES EVERGREEN TREE
- DT INDICATES DECIDUOUS TREE
- SR# INDICATES SURVEY REFERENCE NO.
- APN INDICATES ASSESSORS PARCEL NUMBER
- YPC INDICATES YELLOW PLASTIC CAP
- OPC INDICATES ORANGE PLASTIC CAP
- INDICATES MONUMENT FOUND AS NOTED
- INDICATES CALCULATED POSITION
- INDICATES BOUNDARY
- - - INDICATES EDGE OF ASPHALT
- INDICATES 5 FOOT INTERVAL CONTOUR
- - - INDICATES 1 FOOT INTERVAL CONTOUR
- X - X - INDICATES FENCE LINE
- S - S - INDICATES SANITARY LOCATE
- ST - ST - INDICATES STORM LOCATE
- W - W - INDICATES WATER LOCATE

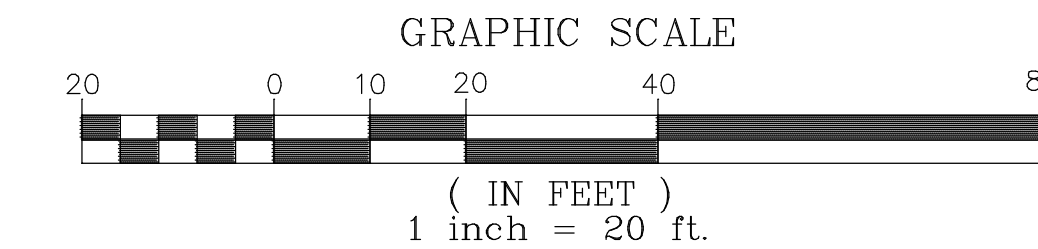
SURVEYORS NOTE:

THE PURPOSE OF THIS SURVEY IS TO DELINEATE THE BOUNDARIES OF TRACT 1 AS SHOWN ON HAGEDORN SURVEY BOOK 61, PAGE 65 (PORTION OF ASSESSORS PARCEL NUMBER 189819-000) TO MEET THE COUNTY REQUIREMENTS FOR A BOUNDARY SURVEY FOR SUBMITTAL OF A SUBDIVISION APPLICATION.

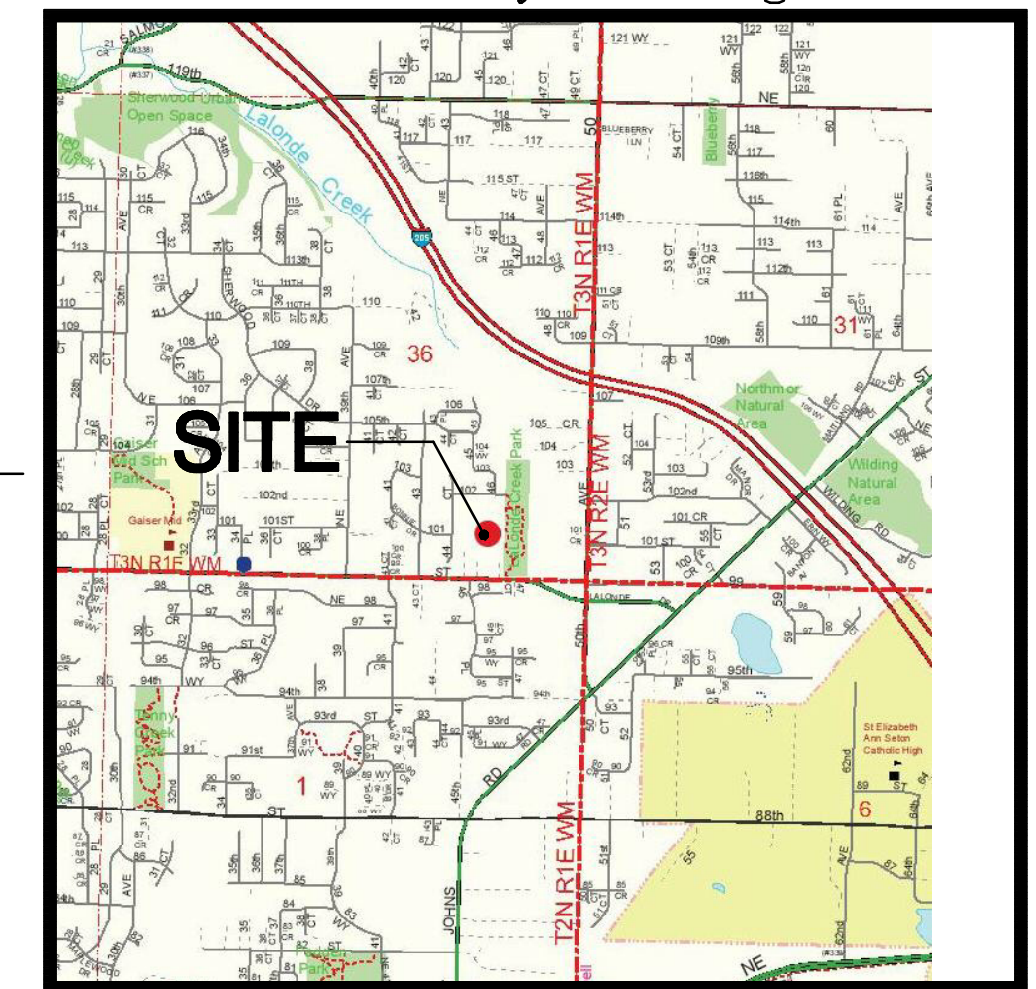


DATE:	7-09-18
SCALE:	1"=20'
JOB NO.:	18-032
CALC BY:	KPF
DRAWN BY:	GLF
CHECKED BY:	
SHEET	1 OF 1

KPF
SURVEYING, INC.
1514 N.E. 267TH AVE. CAMAS, WA 98607
360-834-0174 FAX: 360-838-0155



A Preliminary Short Plat within
a portion of the SE 1/4 of Sec.
36, T3N., R1E., W.M.
Clark County, Washington



VICINITY MAP (NTS)

- a. DRAWING
 - SCALE 1"=20'
- b. GENERAL INFORMATION
 - APPLICANT/CONTACT: JOEL STIRLING
2208 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
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 - SERIAL NUMBER(S): 986049985
 - SITE ADDRESS: NONE SITUATED NE 99TH ST
 - ZONING: R1-6
 - COMPREHENSIVE PLAN: UL

- **Environmental/Critical Areas**
- TOPOGRAPHY IS SHOWN ON THE PROPOSED PLAN.
- THERE ARE NO ON SITE WATERCOURSES (STREAMS, RIVERS, ETC) OR AREAS PRONE TO FLOODING.
- THERE ARE NO FEMA DESIGNATED FLOODPLAINS, FLOOD FRINGE, OR FLOODWAYS ON THE SITE.
- THERE ARE NO DESIGNATED SHORELINE AREAS ON THE SITE.
- THERE ARE NO WATER BODIES OR KNOWN WETLANDS ON THE SITE.
- THERE ARE NO KNOWN WETLAND DELINEATION AREAS ON THE SITE.
- THERE ARE NO KNOWN UNSTABLE SLOPES OR LANDSLIDE HAZARD AREAS ON THE SITE.
- THERE ARE NO KNOWN SIGNIFICANT WILDLIFE HABITAT OR VEGETATION AREA ON THE SITE.
- THERE ARE NO KNOWN SIGNIFICANT HISTORIC, CULTURAL OR ARCHAEOLOGICAL RESOURCES ON THE SITE PER ARCHAEOLOGICAL 07/2018.
- **Land Use and Transportation**
- LAYOUT OF EXISTING PARCELS ARE DRAWN TO SCALE 1"=20'.
- ALL EXISTING BUILDING ON-SITE ARE SHOWN ON THE PLAN.
- ALL ROADWAYS AND EASEMENTS ARE SHOWN ON PLAN ALONG WITH NAME, MATERIAL OF ROADWAY & WHETHER PUBLIC OR PRIVATE.
- LOCATION OF EXISTING ON-SITE & OFF-SITE DRIVEWAYS ARE SHOWN.
- THERE ARE EXISTING PEDESTRIAN AND BICYCLE FACILITIES WITHIN 100' OF THE PROPOSED SITE.
- LOCATION OF ANY EXISTING WELLS AND/OR SEPTIC SYSTEMS ON-SITE AND WITHIN 100' OF SITE ARE SHOWN AS AVAILABLE ON THE GIS WEBSITE.
- THERE ARE TRANSIT ROUTES & STOPS WITHIN 1/4 MILE OF DEVELOPMENT SITE ALONG NE 99TH STREET.

- **Critical Environmental Areas**
- THERE ARE NO WETLAND, STEEP SLOPE BUFFER AREAS/PROTECTED AREAS, OR PLANNED ENHANCEMENT AREAS LOCATED ON THIS SITE.
- **Land Use and Transportation**
- ALL PROPOSED EASEMENTS ARE SHOWN ON PLAN.
- PROPOSED ON-SITE RIGHT-OF-WAYS ARE SHOWN ON PLAN.
- LOCATION & WIDTH OF OFFSITE RIGHT-OF-WAYS & ROADWAYS THAT WILL ACCESS THE SITE ARE SHOWN.
- LOCATION & WIDTH OF PEDESTRIAN & BICYCLE FACILITIES ARE AS SHOWN ON THIS PLAN.
- LOCATION & WIDTH OF PROPOSED EASEMENTS FOR ACCESS AND DRAINAGE ARE AS SHOWN.
- LOCATION AND DIMENSIONS OF PROPOSED LOTS & TRACTS ARE SHOWN, ALONG WITH MAXIMUM & MINIMUM SITE DENSITY CALCULATIONS.
- PROPOSED BUILDING AREAS, LANDSCAPE AREAS & OFF-SITE PARKING, ETC. ARE AS SHOWN ON PLAN.
- THERE ARE NO SEPTIC SYSTEMS PROPOSED WITH THIS DEVELOPMENT.
- **STORMWATER**
- PLEASE REFER TO PROPOSED STORMWATER PLAN ON SHEET 5 OF 6

TABLE 40.220.010-3	
BUILDING SETBACKS:	
FRONT:	10'
FRONT GARAGE:	18'
SIDE STREET:	10'
SIDE INTERIOR:	5'
REAR:	10'
MAX. LOT COVERAGE:	N/
MAX. BLDG. HEIGHT:	35'

TOTAL LOTS: 9
MINIMUM LOT AREA: 2,100 sq.ft.
MAXIMUM LOT AREA: 2,700 sq.ft.
AVERAGE LOT AREA: 2,165 sq.ft.

SITE INFORMATION

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MAXIMUM ALLOWED DENSITY:
0.72 ACRES*7.3 UNITS/ACRE=5.3 UNITS*2=10.6 UNITS

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SPERLING
DESIGN, INC.

meet Description:

**PRELIMINARY DEVELOPMENT
PLAN w/EX. CONDITIONS**

ject: **44th COURT COTTAGES**



sale: AS SHOWN

Project Number: 795

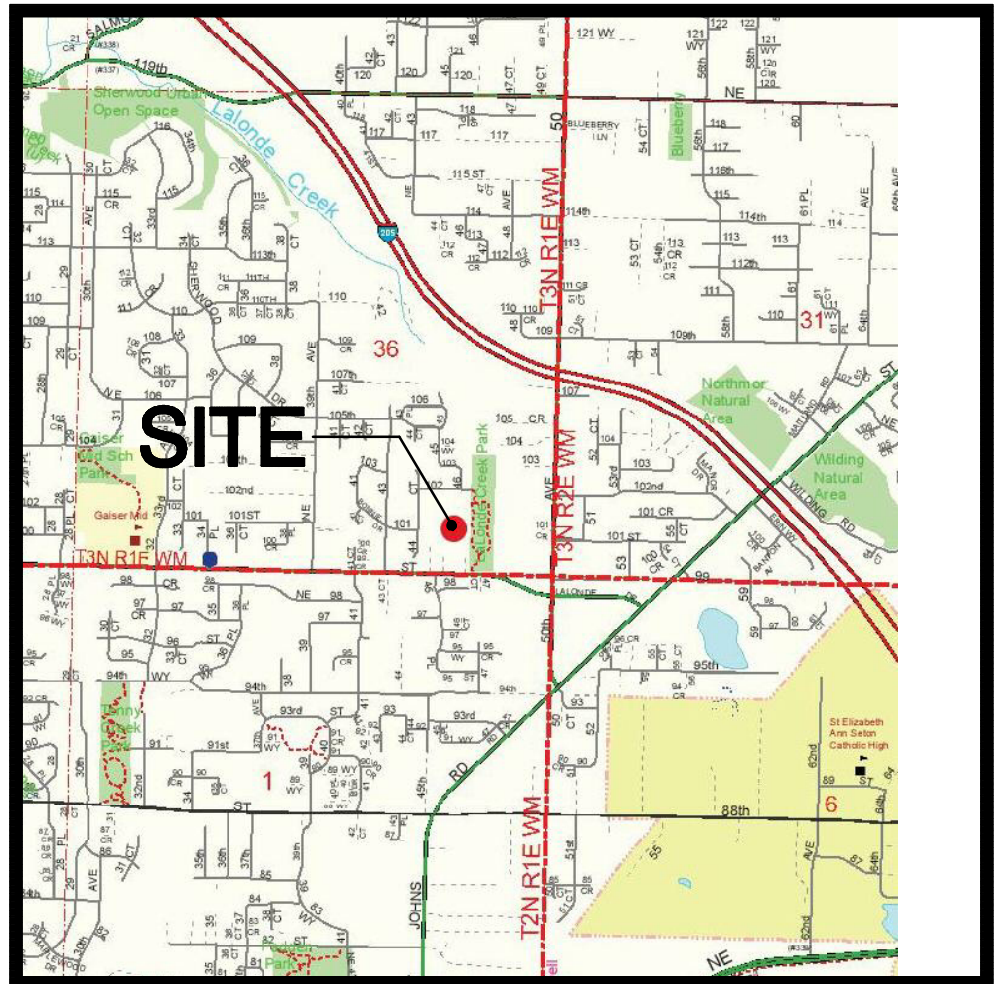
Design/
Drawn JGS

Drawing Date: FEB. 202

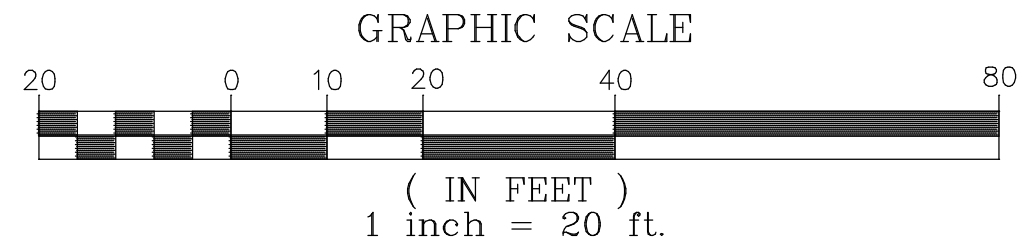
Sheet 3 of 6 Sheet(s)

44th COURT COTTAGES

A Preliminary Short Plat within a portion of the SE 1/4 of Sec. 36, T3N., R1E., W.M. Clark County, Washington



VICINITY MAP (NTS)



LOT 7 (SP 3-822)

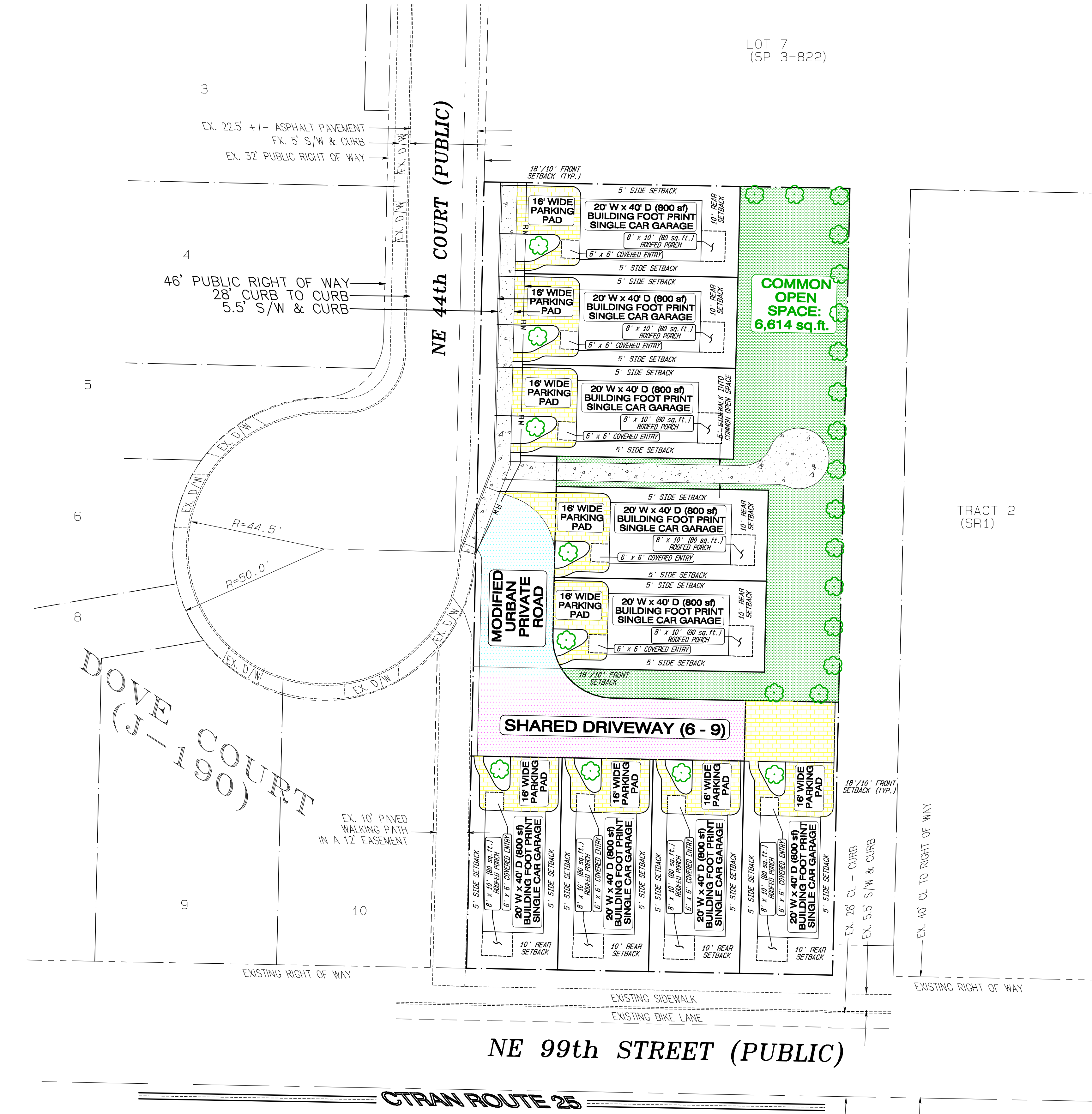
TRACT 2 (SR1)

- C. DEVELOPMENT STANDARDS AND REQUIREMENTS.
- COTTAGE HOUSING DEVELOPMENTS SHALL BE SUBJECT TO SITE PLAN REVIEW IN ACCORDANCE WITH SECTION 40.520.040; EXCEPT, WHERE THE SITE IS PROPOSED TO BE PLATTED WITH EACH COTTAGE ON ITS OWN LOT, THE SITE PLAN SHALL BE REVIEWED IN CONJUNCTION WITH THE LAND DIVISION APPLICATION AND A SEPARATE SITE PLAN REVIEW APPLICATION SHALL NOT BE REQUIRED.
 - COTTAGE HOUSING DEVELOPMENTS MAY BE ALLOWED AT UP TO TWO HUNDRED PERCENT (200%) OF THE MAXIMUM DENSITY OF THE UNDERLYING ZONE, INCLUDING ANY ACCESSORY DWELLING UNITS.
 - COTTAGE HOUSING DEVELOPMENTS SHALL CONTAIN A MINIMUM OF FOUR (4) AND A MAXIMUM OF TWELVE (12) UNITS IN A CLUSTER; PROVIDED, THAT A COTTAGE DEVELOPMENT MAY CONTAIN MORE THAN ONE (1) CLUSTER.
 - FOR PLATTED COTTAGE DEVELOPMENTS, THE MINIMUM LOT AREA AND LOT DIMENSION STANDARDS OF THE UNDERLYING ZONE SHALL NOT APPLY; PROVIDED, THAT THE COTTAGE ON EACH LOT MEETS THE SETBACK AND SEPARATION STANDARDS HEREIN. COTTAGES AND ACCESSORY STRUCTURES SHALL MAINTAIN THE FOLLOWING MINIMUM SETBACKS:
 - TEN (10) FEET FROM PUBLIC RIGHTS-OF-WAY OR PRIVATE STREET EASEMENTS.
 - FIVE (5) FEET FROM EXTERNAL NON-STREET PROPERTY BOUNDARIES.
 - EIGHTEEN (18) FEET FROM A STREET FOR GARAGE DOORS; PROVIDED THE MINIMUM GARAGE DOOR SETBACK FROM AN ALLEY MAY BE TWO (2) FEET.
 - TEN (10) FEET MINIMUM SPACE BETWEEN BUILDINGS (INCLUDING ACCESSORY STRUCTURES).
 - ON-SITE PARKING SHALL BE PROVIDED AT A MINIMUM RATE OF ONE AND ONE-HALF (1 1/2) PARKING SPACES PER COTTAGE AND ONE PARKING SPACE PER ACCESSORY DWELLING UNIT. ON-SITE PARKING MAY BE CLUSTERED IN COMMON PARKING LOTS OR DETACHED GARAGES.
 - DETACHED GARAGES MAY CONTAIN UP TO TWO (2) ACCESSORY DWELLING UNITS (ADUS, ALSO KNOWN AS CARRIAGE UNITS) PER COTTAGE CLUSTER BUILT ABOVE THE PARKING SPACES.
 - COTTAGE DEVELOPMENTS SHALL PROVIDE COMMON OPEN SPACE AT A MINIMUM RATE OF FOUR HUNDRED (400) SQUARE FEET PER COTTAGE.
 - COMMON OPEN SPACE SHALL BE LOCATED WITH COTTAGES ABUTTING ON AT LEAST TWO SIDES AND ABUTTING A MINIMUM OF FIFTY PERCENT (50%) OF THE COTTAGES IN THE CLUSTER.
 - EACH COTTAGE SHALL HAVE A MINIMUM OF TWO HUNDRED (200) SQUARE FEET OF PRIVATE OPEN SPACE. PRIVATE OPEN SPACE SHALL BE ADJACENT TO EACH DWELLING UNIT FOR THE EXCLUSIVE USE OF THE RESIDENTS OF THAT COTTAGE. THE SPACE SHALL BE USABLE (NOT ENCUMBERED BY STEEP SLOPES, PHYSICAL OBSTACLES, AND ORIENTED TOWARD THE COMMON OPEN SPACE AS MUCH AS POSSIBLE, WITH NO DIMENSION LESS THAN TEN (10) FEET.
- D. BUILDING DESIGN STANDARDS.
- COTTAGES SHALL HAVE A MINIMUM OF ONE HUNDRED FIFTY (150) AND A MAXIMUM OF SIXTEEN HUNDRED (1,600) SQUARE FEET GROSS FLOOR AREA. THE MAXIMUM FLOOR AREA ALLOWED ON THE GROUND OR MAIN FLOOR SHALL BE TWELVE HUNDRED (1,200) SQUARE FEET.
 - COTTAGES LOCATED ADJACENT TO A STREET SHALL PROVIDE A COVERED ENTRY FEATURE WITH MINIMUM DIMENSIONS OF SIX (6) FEET BY SIX (6) FEET FACING THE STREET.
 - COTTAGE FACADES FACING THE COMMON OPEN SPACE OR COMMON PATHWAY SHALL FEATURE A ROOFED PORCH AT LEAST EIGHTY (80) SQUARE FEET IN SIZE WITH A MINIMUM DIMENSION OF EIGHT (8) FEET ON ANY SIDE.
 - THE MAXIMUM BUILDING HEIGHT SHALL BE TWENTY-FIVE (25) FEET FOR COTTAGES AND ADUS BUILT OVER GARAGES AND EIGHTEEN (18) FEET FOR ACCESSORY STRUCTURES.
 - ALL PORTIONS OF BUILDING ROOFS OVER EIGHTEEN (18) FEET IN HEIGHT MUST BE PITCHED WITH A MINIMUM SLOPE OF SIX TO TWELVE (6:12).
 - COTTAGES AND ACCESSORY BUILDINGS WITHIN A PARTICULAR CLUSTER SHALL BE DESIGNED WITHIN THE SAME "FAMILY" OF ARCHITECTURAL STYLES. EXAMPLES INCLUDE:
 - SIMILAR BUILDING/ROOF FORM AND PITCH.
 - SIMILAR SIDING MATERIALS.
 - SIMILAR PORCH DETAILING.
 - SIMILAR WINDOW TRIM.
- A DIVERSITY OF COTTAGES CAN BE ACHIEVED WITHIN A "FAMILY" OF STYLES BY:
- ALTERNATING PORCH STYLES (SUCH AS ROOF FORMS).
 - ALTERNATING SIDING DETAILS ON FACADES AND/OR ROOF GABLES.
 - DIFFERENT SIDING COLOR.

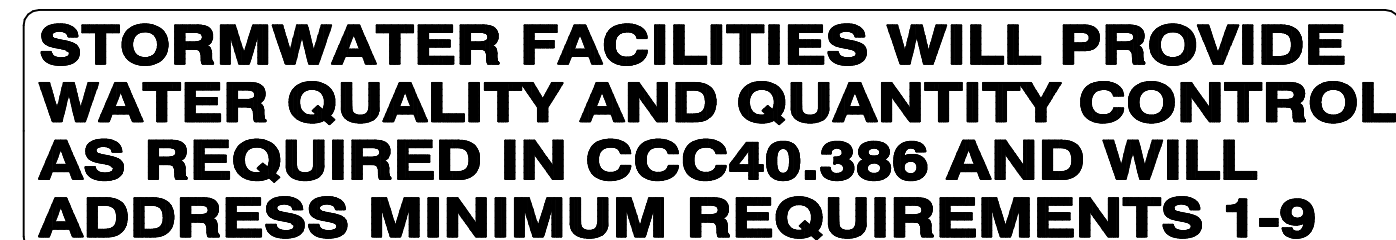
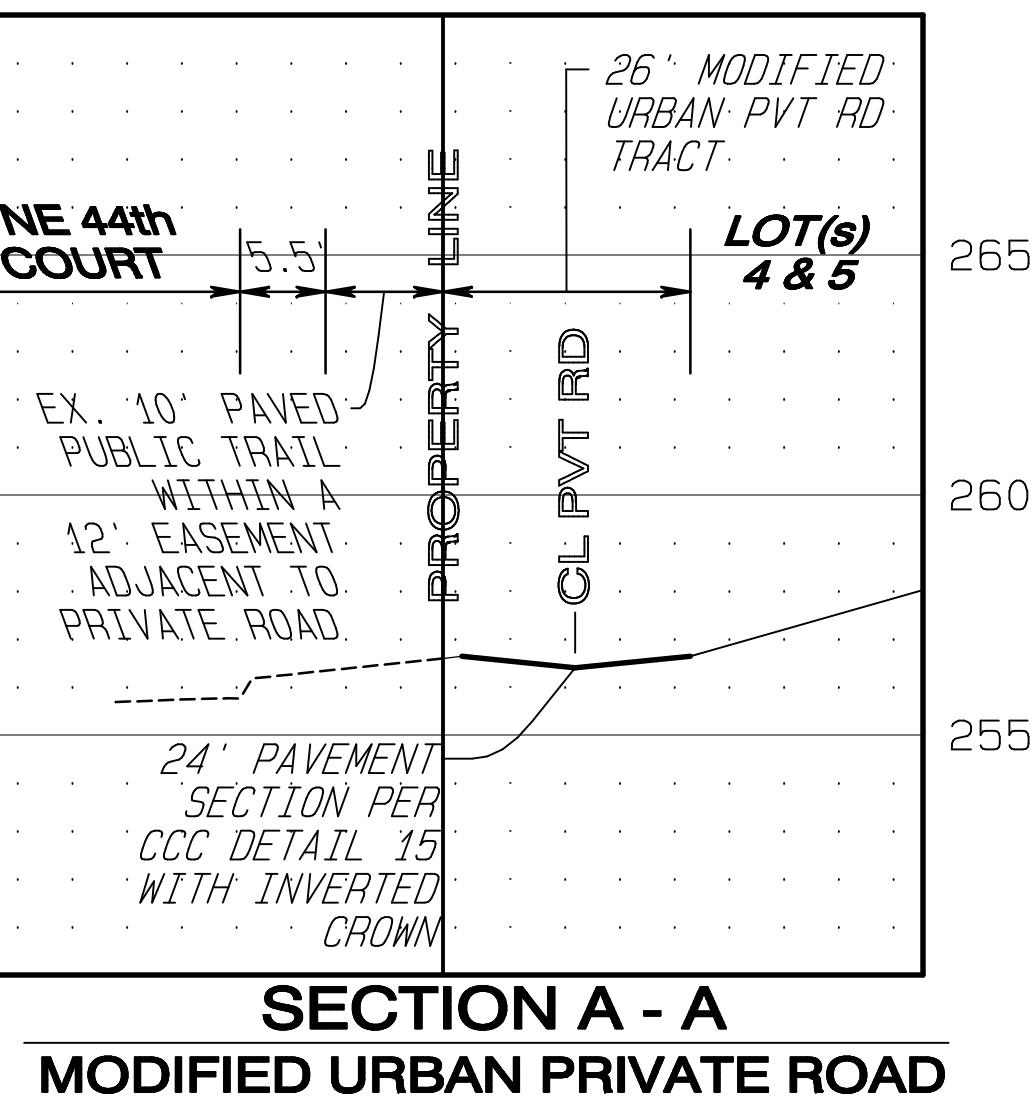
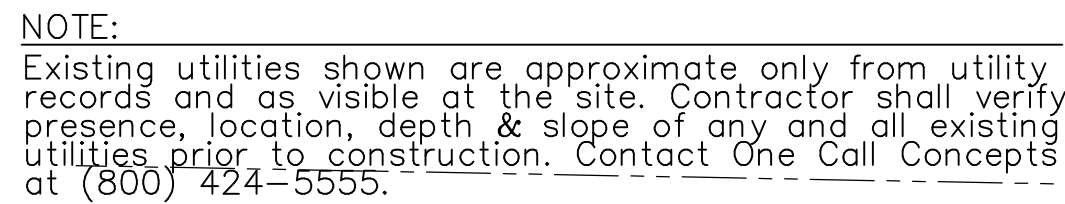
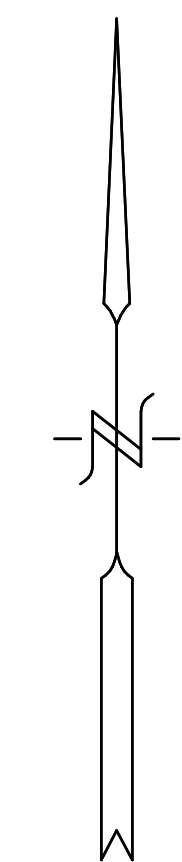
SITE INFORMATION

ALIGNMENT & FIELD DATA:	KPF SURVEYING (503) 709-0492	Scale:	AS SHOWN
SOIL TYPE(s):	HYDROLOGIC GROUP: B AASHTO CLASSIFICATION: A-4	Project Number:	795
SOILS TESTING BY:	TRUE NORTH GEOTECHNICAL (360) 658-0005	Design/Drawn:	JGS
SITE LOCATION:	CLARK COUNTY, WA	APPROX. SURFACE ELEV.:	250'-258'
SITE AREA:	0.72 ACRES/31,307 sf	FILENAME:	S:\795\Preliminary
		Drawing Date:	FEB. 2020
		Sheet	4 of 6 Sheet(s)

EACH INDIVIDUAL COTTAGE UNITS WILL HAVE SEPARATE PRIVATE SOILD WASTE AND RECYCLABLE CONTAINERS FOR STREET PICK UP



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1. PROPOSED PROPERTY BOUNDARIES, EASEMENTS, AND RIGHTS-OF-WAY ARE SHOWN.
2. THERE ARE NO 100-YEAR FLOODPLAINS, FLOODWAYS, OR SHORLINE MANAGEMENT AREAS, ON THE SITE.
3. THE SITE GRADING WILL BE KEPT TO A MINIMUM TO MATCH EXISTING GROUND ELEVATIONS.
4. ALL STORMWATER CURRENTLY INFILTRATES ON THE PROPERTY SO THERE IS ONLY ONE (1) TDA TO INFILTRATION.
5. THERE ARE NO DRAINAGE FLOWS ONTO OR OFF OF THE SITE. ALL DRAINAGE WILL BE INFILTRATED ON THE SITE.
6. LOCATIONS OF HARD SURFACES ARE SHOWN ON THE PLAN.
7. ALL AREAS NOT SHOWN AS HARD SURFACES WILL BE PERVIOUS SURFACES. THERE ARE NO AREAS OF PROPOSED STRUCTURAL SOURCE CONTROL BMPs REQUIRING MINIMUM REQUIREMENT 3.
8. THERE ARE NO AREAS OF POINT DISCHARGE OFF OF THE SITE.
9. ALL STORMWATER MANAGEMENT FACILITIES PROVIDE QUALITY CONTROL AND QUANTITY CONTROL UTILIZING INFILTRATION FACILITIES WHICH ARE IN COMPLIANCE WITH MINIMUM REQUIREMENT #5.
10. APPROXIMATE LOCATION AND SIZE OF PROPOSED RUNOFF TREATMENT AND FLOW CONTROL FACILITIES ARE SHOWN.
11. THE PROPERTY GRADING WILL BE KEPT TO A MINIMUM.
12. THERE ARE NO WETLAND AREAS ON OR NEAR THE SITE.
13. PROPOSED INFILTRATION SYSTEMS ARE SHOWN. THERE ARE NO GEOLOGIC HAZARD AREAS ON OR NEAR THE SITE.

TO THE BEST OF MY KNOWLEDGE
ALL THE INFORMATION REQUIRED
BY CCC 40.386 HAS BEEN INCLUDED
IN THIS PRELIMINARY STORMWATER
PLAN AND THE PROPOSED
STORMWATER FACILITIES ARE
FEASIBLE.

ALIGNMENT & FIELD DATA:		Scale: AS SHOWN	
KPF SURVEYING (503) 709-0492			
SOIL TYPE (L):	HYDROLOGIC GROUP: B	AASHTO CLASSIFICATION: A-4	Project Number: 795
SOILS TESTING BY: TRUE NORTH GEOTECHNICAL (360) 558-0005	DATE: 1-4	Design/Drawn: JGS	
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEVATION: 250'-258'	Drawing Date: FEB. 2020	
SITE AREA: 0.72 ACRES	FILENAME: S:\1795\Preliminary	Sheet 5 of 6 Sheet(s)	

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VANCOUVER, WA 98661
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STERLING
DESIGN, INC.

Sheet Description:

project: 44th COURT COTTAGES



Scale: AS SHOWN

Project Number: 795

Design/
Drawn JGS

Drawing Date: FEB. 2

Sheet 5 of 6 Sheet

PROPOSED HARDSCAPE PEDESTRIAN PLAZAS/WALKWAYS AND PARKING

COMMON SHARED OPEN SPACE COMMUNITY GARDEN AREA

LANDSCAPE TREE(S) TO BE INSTALLED (TYP.) . FINAL SIZE, SPECIES AND LOCATION SHALL BE DETERMINED AT TIME OF FINAL SITE APPROVAL.

COTTAGE LANDSCAPING

PROPOSED PLANTING MATERIALS

	QUANTITY
COTTAGE PERIMETER LANDSCAPE TREE	17 TREES
COTTAGE INTERIOR LANDSCAPE TREES	9 TREES
GROUND COVER	3 LBS PER 1000 SF 14,318 SF: 43 LBS

PLANTING LEGEND			
SYMBOL	SPECIES	SIZE	SPACING
	LAVALLE'S HAWTHORN	1.5" CAL.	25'-30'
	GRACILIS OR WEEPING ALASKA CEDAR	1.5" CAL.	25'-30'
	3-WAY MIX SEED	3 LB BAGS	N/A

- PROPOSED SOFT LANDSCAPE AREA: 14,318 SF (44%) w/ NO BUFFERS YARD AREA AND COMMON OPEN SPACE
- 6' HIGH PRIVACY WOOD/VINYL/ROD IRON FENCE AROUND EACH INDIVIDUAL PATIOS
- PROPOSED SURFACE WATER MANAGEMENT FEATURES INTEGRATED WITH LANDSCAPE
- PROPOSED DECOROATIVE CONCRETE, PAVER OR ASPHALT HARDSCAPE PROPOSED AS SHOWN
- PROPOSED COMMON OPENSACE AREA FOR ACTIVE/PASSIVE COMMUNITY GARDENING

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STERLING
DESIGN, INC.

Sheet Description:
PRELIMINARY LANDSCAPE
PLAN

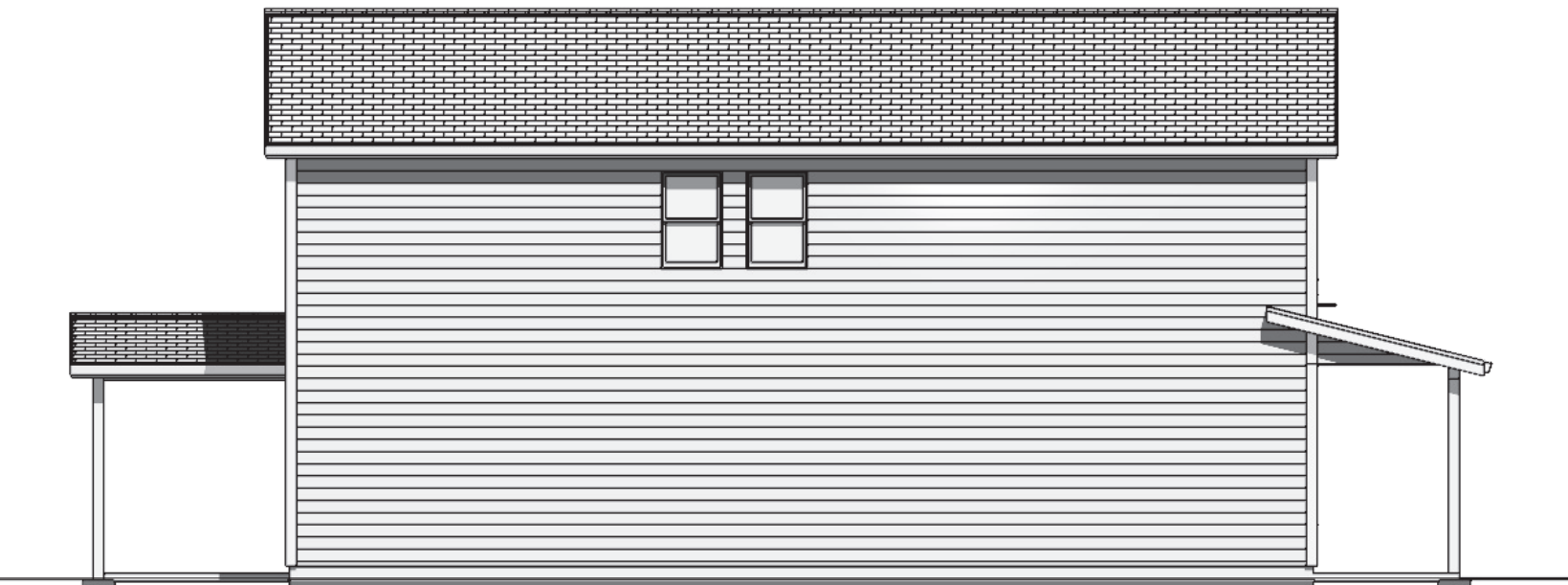
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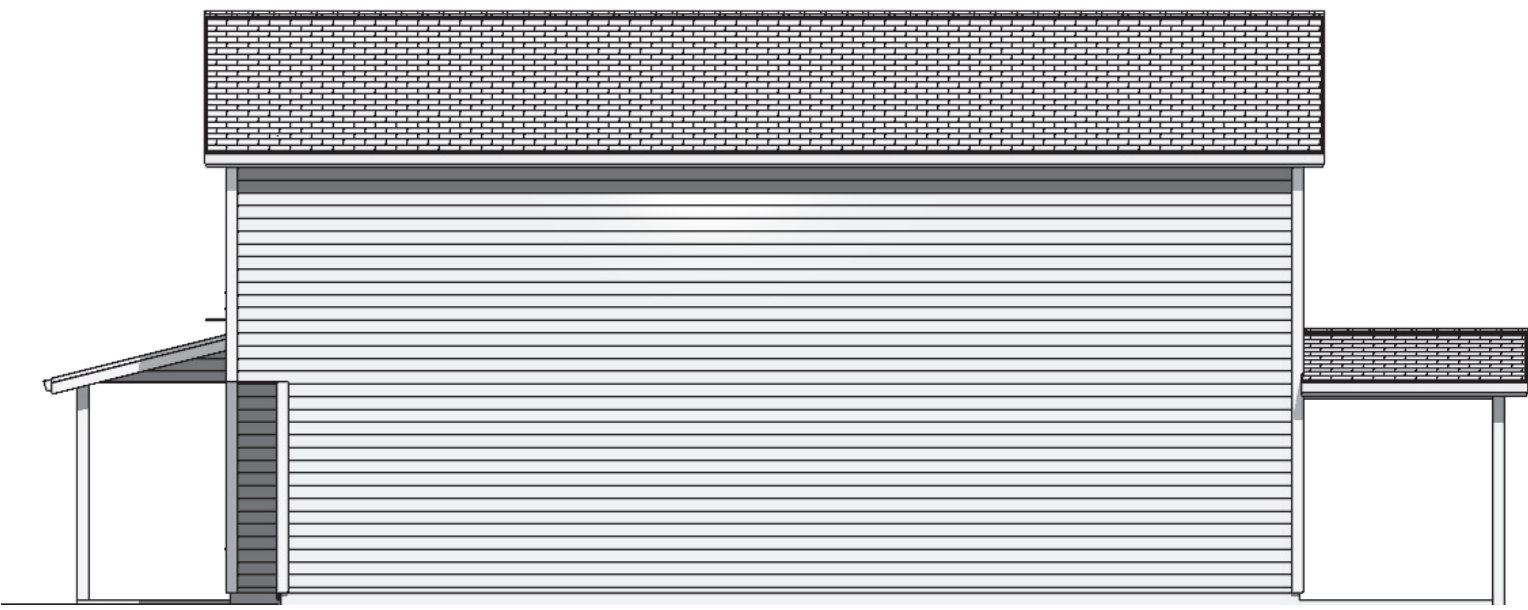
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

option 2

